

# Land Auction

Monday, May 22, 2017 at 7 pm

**Auction Location:** Flint Hills Room, Best Western Hospitality House  
3021 W US Hwy 50, Emporia, KS 66801



## Three tracts of land in central Lyon County

### Tract 1: 20 acres

**Property Location:** Four miles east of Highway 99 on the Old John Deere Road (Road 130).

**Property Description:** 20 acres total including 18 acres of farmland with the balance in waterways and road. Productive upland farm Class 3e & 2s soils with paved road frontage. An attractive building site close to town with good access; no utilities installed but water and electric are available.

**Legal Description:** W/2 SE/4 SE/4 of Section 32-19-12. **Real Estate Taxes \$251.28**

### Tract 2: 79 acres

**Property Location:** Two and a half miles east of Highway 99 on Road 120 at the southeast corner of Roads 120 and N.

**Property Description:** Half farmland and half native grass hay meadow; all Class 3e and 2s soils; 79 acres total. Gravel road frontage on two sides. Productive farm property with nearly no waste and potential for rural residential development or subdivision.

**Legal Description:** Legal N/2 NWfr/4 of Section 7-20-12. **2016 RE Taxes \$621.66**

### Tract 3: 80 acres

**Property Location:** Four and a half miles east of Highway 99 on Road 120 and then one and a half miles south on Road R.

**Property Description:** 80 acres of open native and mixed grass pasture land with three ponds and fair fence. Gravel road frontage along the east. This property is not leased; buyer can graze the pasture this season; possibility of early possession.

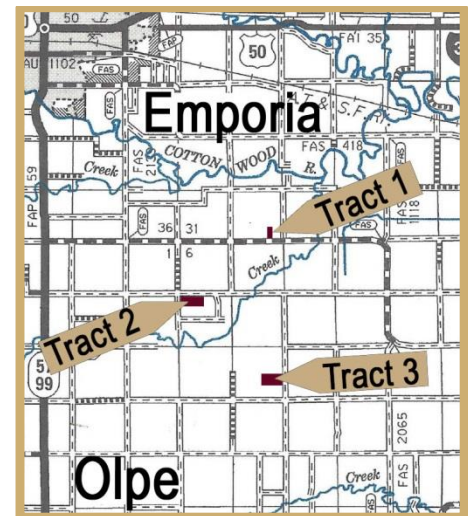
**Legal Description:** N/2 SE/4 of Section 17-20-12. **2016 RE Taxes \$200.46**

## Seller ó Ralph E. and Grace E. VanSickle Revocable Trust

**Agent's Notes:** Wow, this auction has something for everyone wanting to buy land. We have productive farmland and hay meadow to add to your farming operation, a nice clean 80 acres of native grass to add to your cattle operation and all three tracts have potential for future rural residential development. Buy a tract close to town to build your dream home and have room for some hobbies. Tracts 1 and 2 sell subject to existing ag leases; contact listing agent for details; no lease on Tract 3. **Mineral Rights:** All of seller's mineral rights will transfer to buyer and are thought to be intact.

**Terms: Tracts sell separately and will not be combined.** Seller requires 10% earnest money deposit at the conclusion of the auction and signature on a binding purchase contract with the balance of the purchase price due in full at closing on or before June 23, 2017, at which time buyer will receive an appropriate deed. Cost of title insurance and closing fee to Lyon County Title will be shared equally by the Seller and Buyer. Tracts 1 and 2 are selling subject to current ag leases; buyer will receive full possession at closing on Tract 3. The Buyer will be responsible for the 2017 real estate taxes. The property is selling subject to all easements, restrictions, covenants, leases, roads, rights of way and zoning regulations of record.

*All announcements the day of the sale take precedence over all advertisements and printed material. Swift-N-Sure Auctions & Real Estate and its agents represent the sellers and do not represent the buyers. All information is obtained from sources considered to be reliable, but is not guaranteed by the Sellers or Seller's Agents. Prospective buyers are encouraged to complete their own independent investigation of property characteristics. This sale is not subject to the buyer obtaining financing or inspections. All financing arrangements or inspections must be made by the Buyer prior to the sale date. Sellers and Seller's Agents are not responsible in case of accidents. **Seller reserves the right to accept or reject any and all bids.***



**We are available any time by appointment to show you these outstanding properties.**

**Victor Edelman**

Broker / Auctioneer

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**Brian Landis**

Listing Real Estate Agent

620-256-6753

brian@swiftnsureauctions.com

## Tract 1 – 20 acres



## Tract 2 – 79 acres



## Tract 3 – 80 acres



We hope to see you at the auction:

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